

**After recording return to:**

Griffith & Cummings PC  
P.O. Box 160748  
Big Sky, Montana 59716

**FIRST AMENDMENT TO THE DECLARATION FOR THE EDGE 7 CONDOMINIUMS**

This First Amendment to the Declaration for The Edge 7 Condominiums (Amendment) is hereby made and entered into by the Declarant. This Amendment amends the Declaration for The Edge 7 Condominiums recorded at the Gallatin County Clerk and Recorder's office on December 14, 2020, as Document No. 2712425.

The purpose of this Amendment is to correct "Exhibit C – Site Plan"

The Declarant, Dehaan Construction, Inc., hereby adopts this Amendment pursuant to Article 12 of the original Declaration, which allows Declarant to unilaterally amend the Declaration until seventy-five percent (75%) of all Units, including expansion Units, in Edge 7 Condominiums are sold.

Therefore, the following exhibit is amended. Only the exhibit noted herein is amended.

**AMENDMENT**

**EXHIBIT C – SITE PLAN**

# EXHIBIT A

## SITE PLAN EDGE 7 CONDOMINIUM

MEASURED: NM 10/23/2020  
JG 10/23/2020

### LEGAL DESCRIPTION

A PORTION OF BLOCK 15, BELLEVUE ADDITION [PLAT J-633] LOCATED IN NW 1/4, SEC. 12, T. 1 S., R. 4 E. OF P.M.M., BELGRADE, MONTANA

### ADDRESS

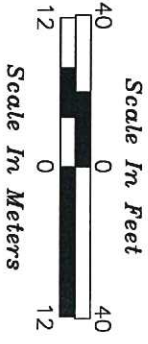
609 & 611 Oregon St. and 704 Minnesota St., Belgrade, MT 59718

### LEGEND

- (R) RECORD DISTANCE OR AZIMUTH PER PLAT
- FOUND 5/8 INCH REBAR WITH YELLOW PLASTIC CAP (C&H ENGR #9518ES) OR AS NOTED
- PROPERTY BOUNDARY LINE
- SURROUNDING PROPERTY LINE
- EASEMENT LINE

### NOTES

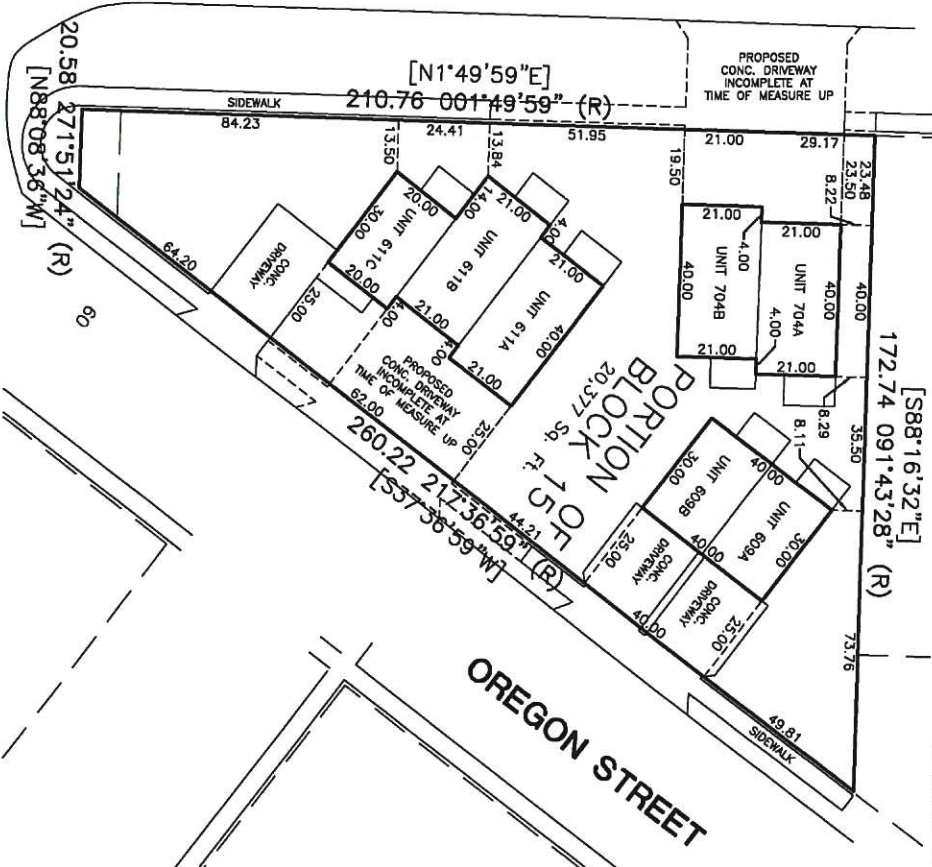
1. ALL SIDEWALKS, STOOPS, DRIVEWAYS, PATIOS, PORCHES, DECKS AND ATTICS ARE LIMITED COMMON ELEMENTS ALLOCATED TO UNITS THEY ARE ADJACENT TO.
2. UNIT AREAS SHOWN ON THE FLOOR PLANS ARE MEASURED TO THE EXTERIOR SURFACE OF THE STUD WALLS ON EXTERIOR WALLS, AND TO THE CENTERLINE OF COMMON WALLS, INTERIOR STAIRWAYS ARE INCLUDED IN THE FLOOR AREA OF THE LOWER LEVEL ONLY. THIS IS DONE TO MATCH THE ASSESSOR'S OFFICE FLOOR AREAS AS THEY CALCULATE THEM. THE ACTUAL UNIT BOUNDARIES ARE AS DEFINED IN THE DECLARATION OF CONDOMINIUM.



Engineering and Surveying Inc.  
1091 Stoneridge Drive • Bozeman, MT 59718  
Phone (406) 587-1115 • Fax (406) 587-9758  
www.chengengineers.com • info@chengengineers.com

UNIT	1st FLOOR	2nd FLOOR	TOTAL
UNIT 609A	600 SF		600 SF
UNIT 609B	600 SF		600 SF
UNIT 611A	840 SF	840 SF	1,680 SF
UNIT 611B	840 SF	840 SF	1,680 SF
UNIT 611C	600 SF		600 SF
UNIT 704A	840 SF	840 SF	1,680 SF
UNIT 704B	840 SF	840 SF	1,680 SF
<b>TOTAL</b>	<b>5,160 SF</b>	<b>3,360 SF</b>	<b>8,520 SF</b>

FLOOR AREA TABULATION - EDGE 7 CONDOMINIUM



IN WITNESS WHEREOF, I certify that this First Amendment to the Declaration for The Edge 7 Condominiums was adopted pursuant to Article 12 of the original Declaration, which allows Declarant to unilaterally amend the Declaration until seventy-five percent (75%) of all Units, including expansion Units, in Edge 7 Condominiums are sold.

**DECLARANT:**

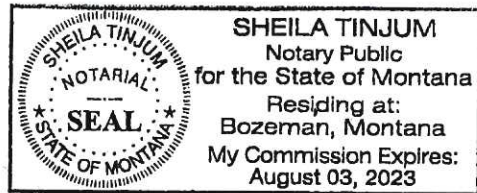
**Dehaan Construction, Inc.**

BY: *Darrel DeHaan*  
**President, Darrel DeHaan**

State of Montana     )  
                                      : ss.  
County of Gallatin    )

On this 21<sup>st</sup> day of December, 2020, before me, a Notary Public in and for said State, personally appeared Darrel DeHaan, **President of Dehaan Construction, Inc.**, and acknowledged to me that he executed the same on behalf of the limited liability company pursuant to the power and authority vested in him.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial seal the day and year written above.



*Sheila Tinjum* (print name)  
\_\_\_\_\_  
Notary Public for the State of Montana  
Residing at \_\_\_\_\_, Montana  
My commission expires: \_\_\_\_\_