

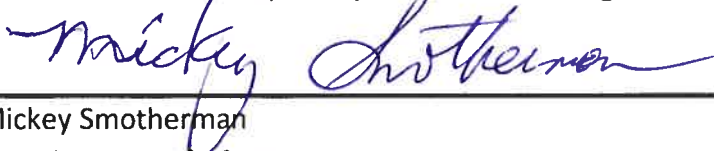
CT Condominium

Standards for Installing Fence Gates

These requirements and standards are provided to guide the CT Condominium Board and Management in the approval for installation of gates on the fence surrounding a unit patio.

1. The unit owner is responsible for all construction activity and costs, including any damage or modification to the common elements.
2. The unit owner must submit a request to the Board for approval, and must receive documented approval, prior to beginning any construction. The standard request form will be used and will detail the plans and design of the gate and its installation.
3. The design of the gate will be the same as the existing fence. The gate height will be the same as the fence. The gate will be painted the same color as required in the Owner's Handbook. (Sherwin-Williams Exterior Stains Woodscapes Latex, Flat 615CT-30)
4. The posts and the vertical boards will be the same as the fence. (E.g., Cedar or pressure treated pine). A metal gate frame with hinges and bracing may also be used with wood framing and slats attached to it (these are available at Kenyon Noble). This type of installation insures against gate sagging over time.
5. The fence end post and gate post near the foundation are recommended to be placed in concrete approximately 12-16 " inches deep for post stability. If either the fence end post or gate post near the unit foundation are not installed in concrete or other material such as packed Road Grade material, the post should be excavated, and concrete or other sealant such as Road Grade poured around the post to provide stability. Posts should be placed in the ground 24-36 inches and well tamped if Road Grade is used to insure post stability such as in high winds.
6. This gate post may be installed next to the foundation but provide at least a 2- 4" clearance to allow for future painting or other siding work
7. The gate hinges can be attached to the fence end post or the gate post near the foundation.
8. The gate post **MAY NOT** be attached to the condo siding or trim boards in accordance with existing Declaration of Condominium/Bylaws requirements.
9. If underground irrigation piping or other pipes/wires prevent the post from being installed next to the foundation, the post can be installed a sufficient distance from the foundation to avoid the pipes/wires. The space between the post and the siding can be filled with a wood construction like the gate, attached to only the post and leaving a 2-4" clearance with the siding as described above.
10. As an alternative to 8 above, the owner may contract with, and pay for, the irrigation contractor (or appropriate contractor) to move the obstructing pipe/wires.

This standard was adopted by the Board as a Regulation on May 9, 2022.



Mickey Smotherman
President, Board of Directors